

# ASSESSED VALUATION & MILL RATE



Executive Briefing for:  
**Board of Education**

December 9, 2013

**FISCAL YEAR  
2013-14**



CherryCreekSchools

# TAXABLE ASSESSED VALUE BY PROPERTY TYPE

(\$ Millions)

Year	Residential	Commercial	Industrial	Vacant Land	Other	Total
<b>Actual 2013</b>	<b>\$2,166.149</b>	<b>\$1,922.138</b>	<b>\$8.831</b>	<b>\$112.193</b>	<b>\$212.223</b>	<b>\$4,421.534</b>
% of Total	48.99%	43.47%	0.20%	2.54%	4.80%	100.00%
<b>Actual 2012</b>	<b>\$2,163.219</b>	<b>\$1,792.923</b>	<b>\$7.234</b>	<b>\$128.120</b>	<b>\$196.894</b>	<b>\$4,288.390</b>
\$ Inc(Dec)	\$2.930	\$129.215	\$1.597	(\$15.927)	\$15.329	\$133.144
% Inc(Dec)	0.14%	7.21%	22.08%	(12.43%)	7.79%	3.10%



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# CHANGE IN ASSESSED TAX VALUATION

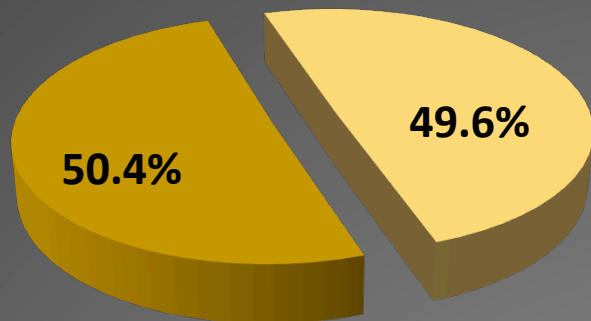
ASSESSED VALUE (\$ MILLIONS)	ACTUAL 2013	% OF TOTAL	ACTUAL 2012	% OF TOTAL	ASSESSED VALUE CHANGE	% CHANGE
Residential	\$2,166.149	48.99%	\$2,163.219	50.44%	\$2.930	0.14%
<b>All Other Categories</b>						
Vacant	112.193	2.54%	128.120	2.99%	(15.927)	(12.43%)
Commercial	1,922.138	43.47%	1,792.923	41.81%	129.215	7.21%
Industrial	8.831	0.20%	7.234	0.17%	1.597	22.08%
Agricultural	1.251	0.03%	1.272	0.03%	(0.021)	(1.63%)
Natural Resources	0.041	<0.01%	0.041	<0.01%	-	-
Oil and Gas	2.010	0.04%	1.146	0.03%	0.864	75.44%
State Assessed	<u>208.921</u>	<u>4.73%</u>	<u>194.435</u>	<u>4.53%</u>	<u>14.486</u>	<u>7.45%</u>
Total All Other	2,255.385	51.01%	2,125.171	49.56%	130.214	6.13%
ASSESSED VALUE	\$4,421.534	100.00%	\$4,288.390	100.00%	\$133.144	3.10%



# TAXABLE ASSESSED VALUE

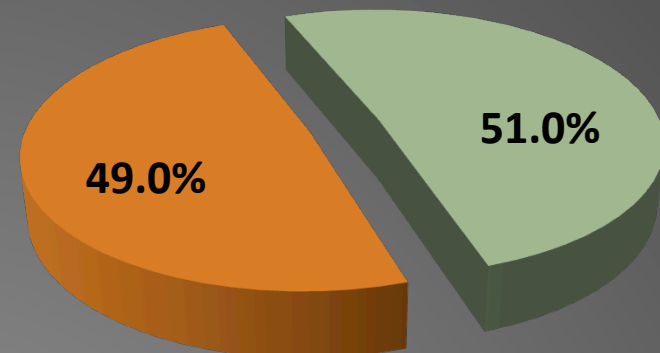
For Residential & All Other Property Types

**Actual  
2012-13**



■ Residential ■ All Other

**Actual  
2013-14**

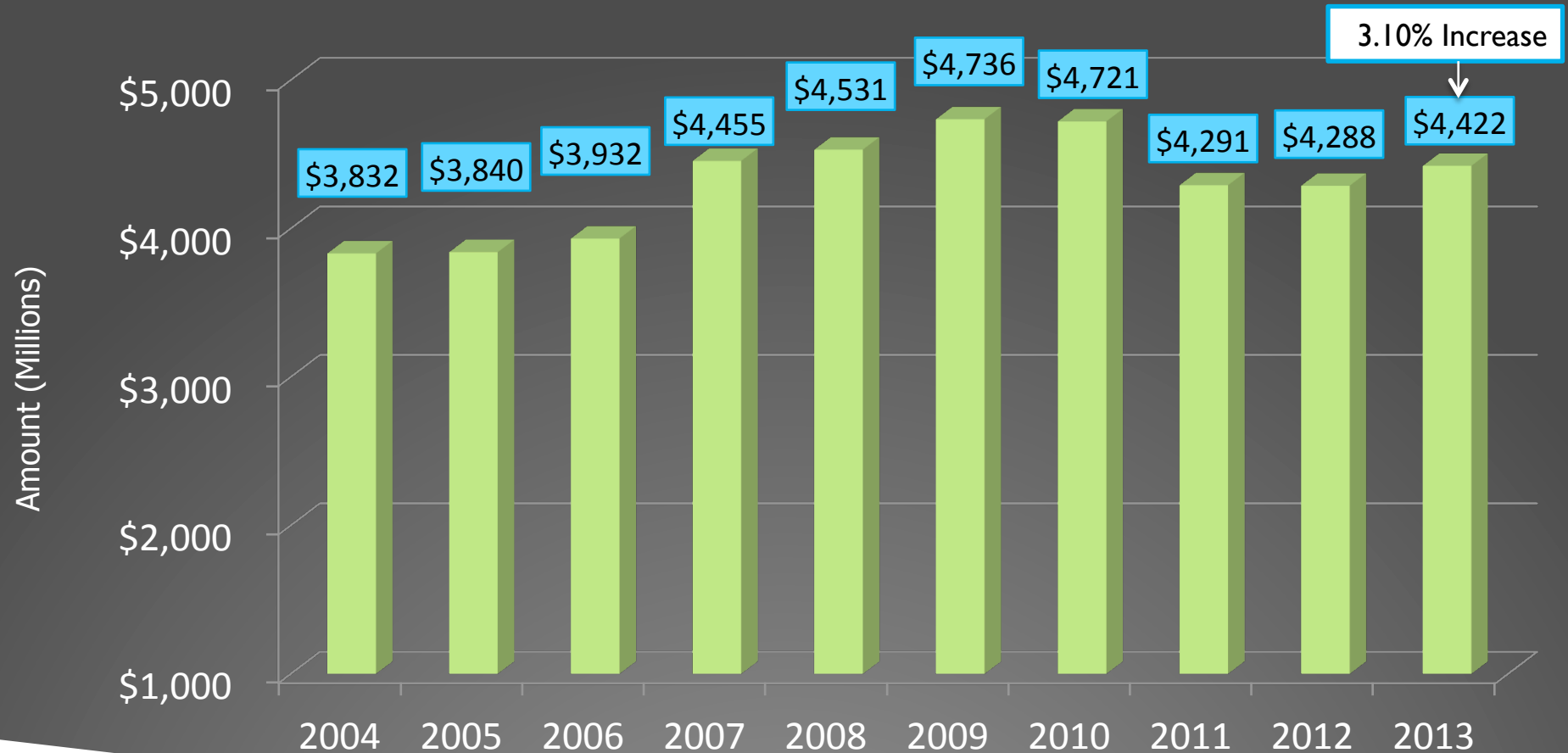


■ Residential ■ All Other



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# TAXABLE ASSESSED VALUATION HISTORY



■ Valuation Year

# ACTUAL VALUE BY PROPERTY TYPE

(\$ Millions)

Year	Residential	Commercial	Industrial	Vacant Land	Other	Total
<b>Actual 2013</b>	<b>\$27,211.812</b>	<b>\$6,700.556</b>	<b>\$30.452</b>	<b>\$386.865</b>	<b>\$728.120</b>	<b>\$35,057.805</b>
% of Total	77.62%	19.11%	0.09%	1.10%	2.08%	100.00%
<b>Actual 2012</b>	<b>\$27,174.922</b>	<b>\$6,223.265</b>	<b>\$24.943</b>	<b>\$441.775</b>	<b>\$677.843</b>	<b>\$34,542.748</b>
\$ Inc(Dec)	\$36.890	\$477.291	\$5.509	(\$54.910)	\$50.277	\$515.057
% Inc(Dec)	0.14%	7.67%	22.08%	(12.43%)	7.42%	1.49%



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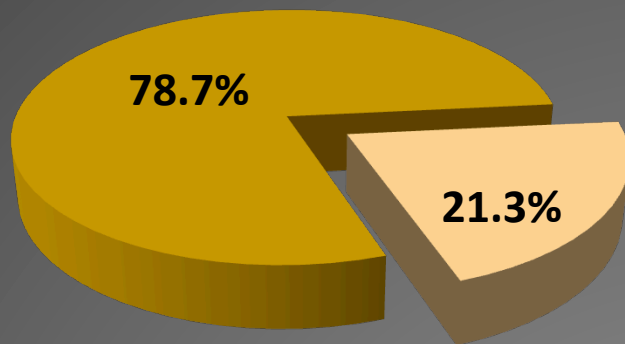
# CHANGE IN ACTUAL TAX VALUATION

ACTUAL VALUE (\$ MILLIONS)	ACTUAL 2013	% OF TOTAL	ACTUAL 2012	% OF TOTAL	ACTUAL VALUE CHANGE	% CHANGE
Residential	\$27,211.812	77.62%	\$27,174.922	78.67%	\$36.890	0.14%
<b><u>All Other Categories</u></b>						
Vacant	386.865	1.10%	441.775	1.28%	(54.910)	(12.43%)
Commercial	6,700.556	19.11%	6,223.265	18.02%	477.291	7.67%
Industrial	30.452	0.09%	24.943	0.07%	5.509	22.08%
Agricultural	4.320	0.01%	4.390	0.01%	(0.070)	(1.60%)
Natural Resources	0.148	<0.01%	0.148	<0.01%	-	-
Oil and Gas	3.237	0.01%	2.841	0.01%	0.396	13.94%
State Assessed	<u>720.415</u>	<u>2.06%</u>	<u>670.464</u>	<u>1.94%</u>	<u>49.951</u>	<u>7.45%</u>
Total All Other	7,845.993	22.38%	7,367.826	21.33%	478.167	6.49%
ACTUAL VALUE	\$35,057.805	100.00%	\$34,542.748	100.00%	\$515.057	1.49%

# ACTUAL VALUE

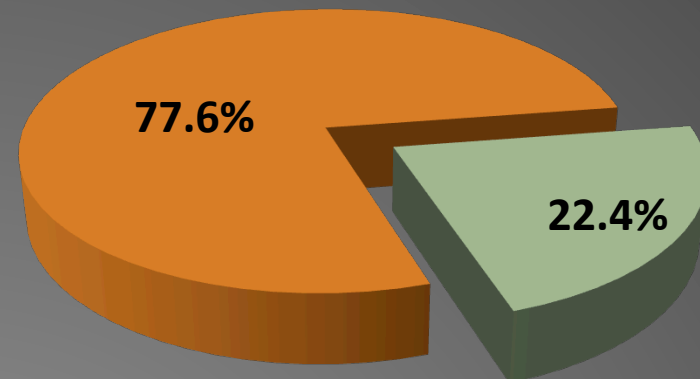
## For Residential & All Other Property Types

**Actual  
2012-13**



■ Residential ■ All Other

**Actual  
2013-14**



■ Residential ■ All Other

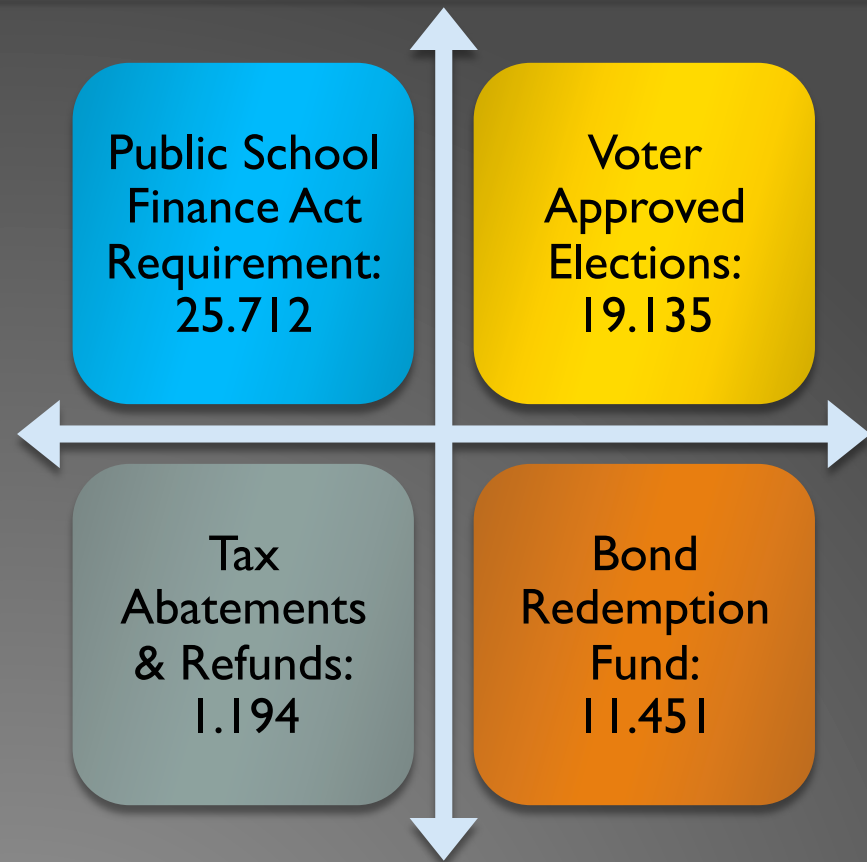


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# 2013-14 Taxable Assessed Valuation & Mill Rate

- ▶ Assessed Value:
  - ▶ \$4,421,534,304
- ▶ Mill Levy:
  - ▶ 57.492
- ▶ Total Tax Levy:
  - ▶ \$254,202,850



# COMPARATIVE MILL RATES & TAX LEVIES

	Actual 2013 for FY13-14	Actual 2012 for FY12-13	Mill Rate Change	Tax Levy Change (In Millions)
Public School Finance Act Requirement	25.712	25.712	0.000	\$3.423
<u>Voter Approved</u>				
- Pre 1988 Elections	1.548	1.595	(0.047)	0.004
- 1991, 1998, 2003, 2008, & 2012 Elections	17.587	18.133	(0.546)	0.001
Tax Abatements & Refunds	<u>1.194</u>	<u>1.337</u>	<u>(0.143)</u>	<u>(0.454)</u>
General Fund Subtotal	46.041	46.777	(0.736)	2.974
Bond Redemption Fund	<u>11.451</u>	<u>11.260</u>	<u>0.191</u>	<u>2.344</u>
Total Mill Levy	57.492	58.037	(0.545)	\$5.318
(\$ Millions)				% Change
Total Property Tax Levy	\$254.203	\$248.885	\$5.318	2.14%

# RESIDENTIAL PROPERTY VALUE & TAX

ACTUAL  
2012-13

- ▶ Mill Levy 58.037
- ▶ Assessment Rate 7.96%



- Property Value \$305,901
- Property Tax \$1,413

ACTUAL  
2013-14

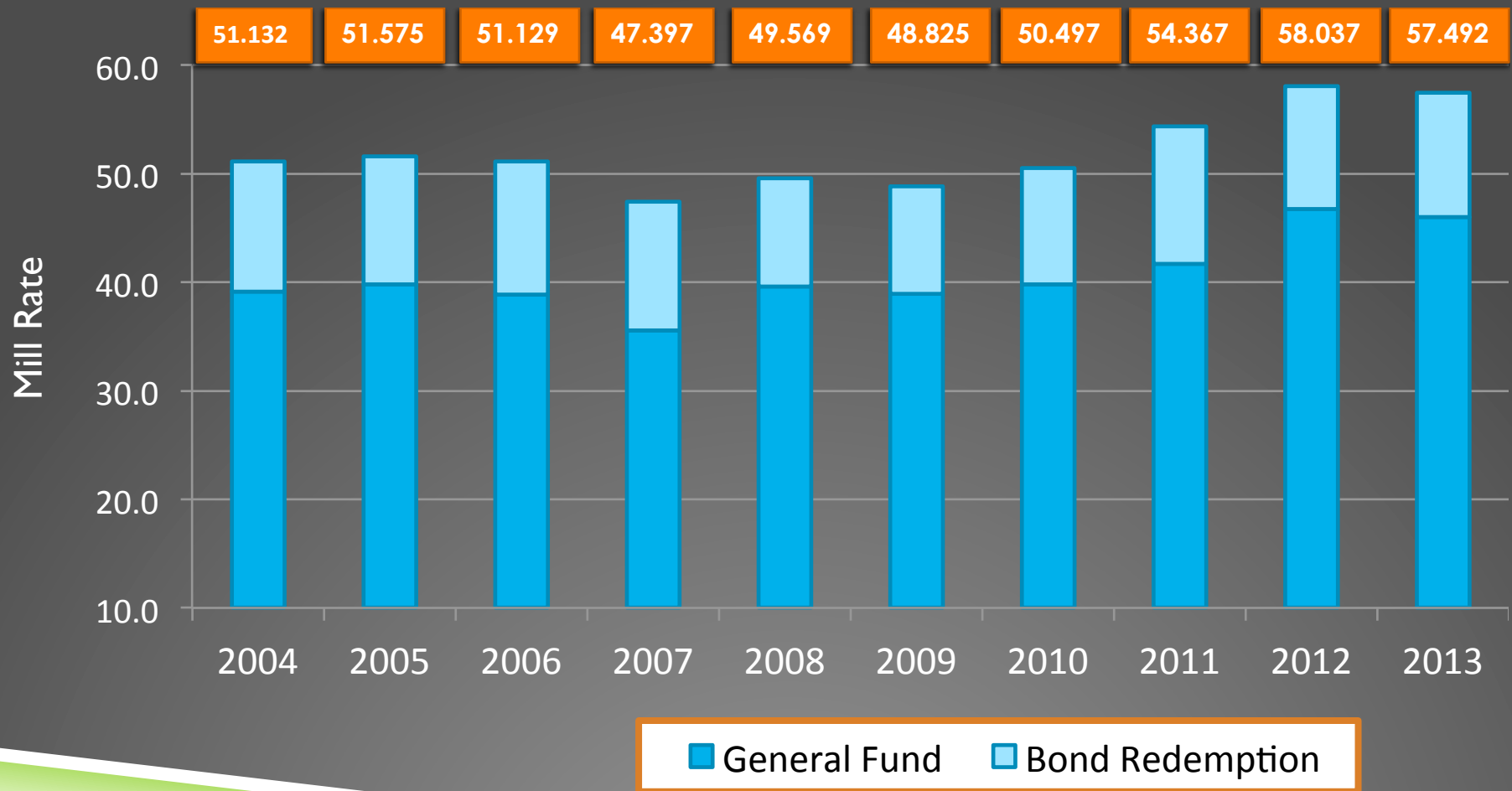
- ▶ Mill Levy 57.492
- ▶ Assessment Rate 7.96%



- Property Value \$305,901
- Property Tax \$1,400

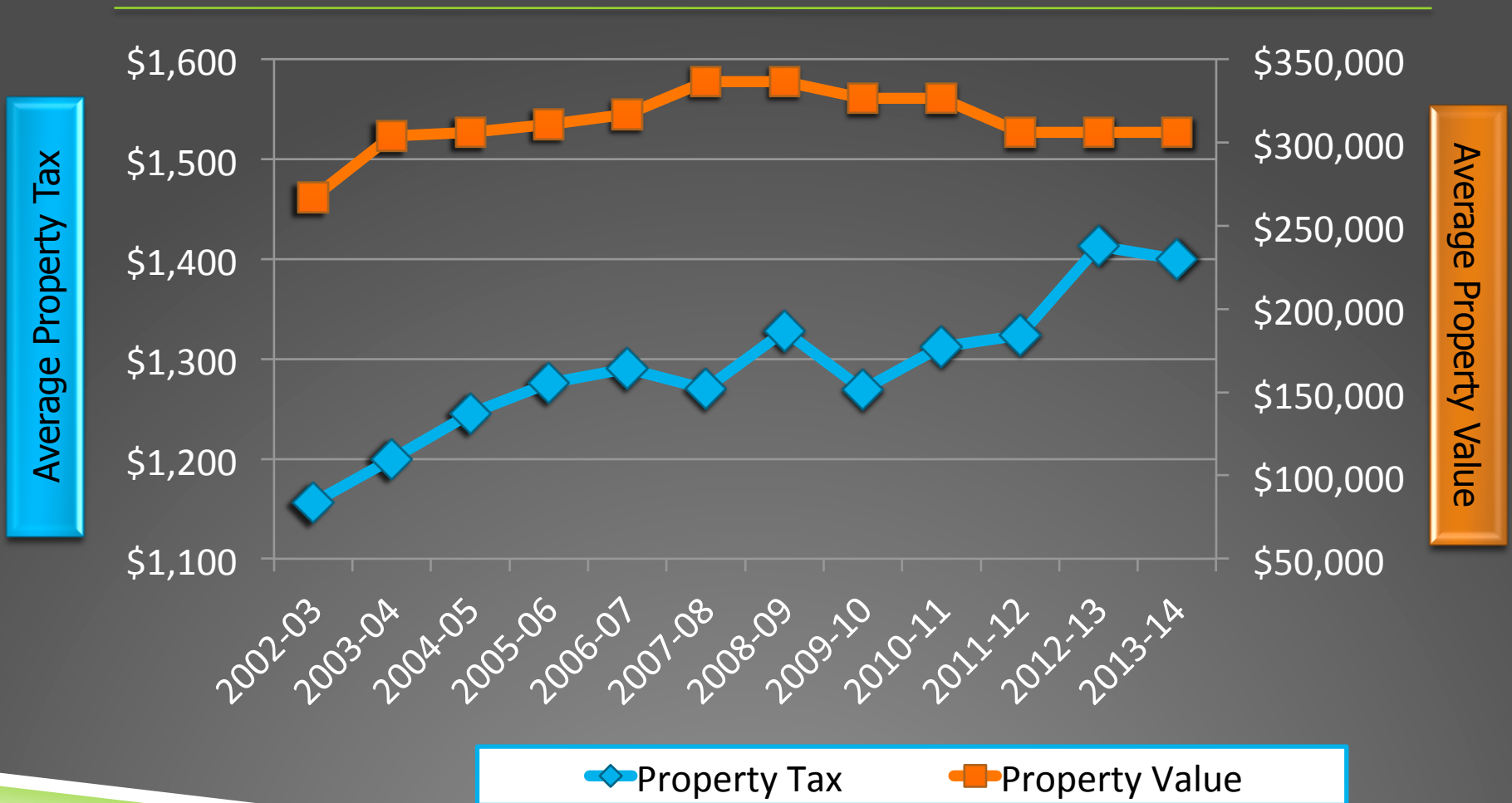
Annual decrease for an average residential property is \$13.

# MILL LEVY HISTORY BY VALUATION YEAR



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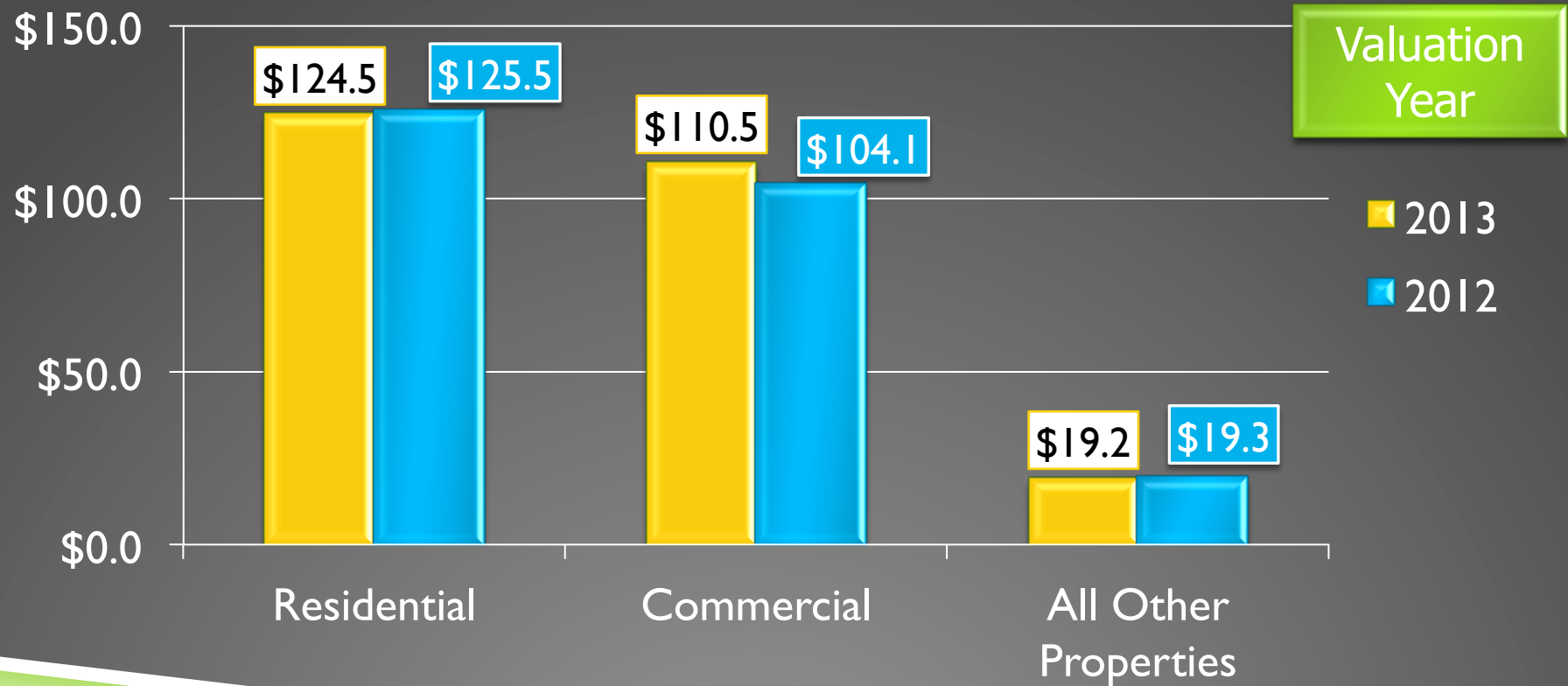
# RESIDENTIAL PROPERTY VALUE & TAX HISTORY



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# COMPARATIVE RESIDENTIAL & COMMERCIAL PROPERTIES

## Property Tax Levy



# PROPERTY TAXES PAID BY YEAR

	Actual 2013		Actual 2012	
	Property Tax	# of Parcels	Property Tax	# of Parcels
Residential	\$124,536,262	89,295	\$125,546,764	88,610
	\$1,400 Avg. Tax per Parcel		\$1,413 Avg. Tax per Parcel	
Commercial	\$110,507,567	3,014	\$104,055,869	2,864
	\$36,665 Avg. Tax per Parcel		\$36,332 Avg. Tax per Parcel	
All Other Properties	\$19,159,021	5,266	\$19,282,646	6,083
	\$3,638 Avg. Tax per Parcel		\$3,170 Avg. Tax per Parcel	
TOTAL	\$254,202,850	97,575	\$248,885,279	97,557

Property tax levy increased by \$5.318 million, an increase of 2.14%.

# CHERRY CREEK SCHOOL DISTRICT

## OUR MISSION

- ▶ TO INSPIRE EVERY STUDENT TO THINK, TO LEARN, TO ACHIEVE, TO CARE

## OUR VISION

- ▶ DEDICATED TO EXCELLENCE



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